



PLANNING AND DEVELOPMENT COMMISSION

**Lecanto Government Building
3600 W. Sovereign Path,
Room #166
Lecanto, FL 34461**

AGENDA

July 16, 2026 - 9:00 AM

**David Bramblett, Chair
Jenette Collins, 1st Vice Chair
Michael Facemyer, 2nd Vice Chair
Richard Barmes, Member
Stuart Bozeman, Member**

**Robert Sharra, Member
Kurt Stone, Member
Timothy Gilbert, Alternate
Janis Murphy, Alternate Member
Chuck Dixon (School Board)**

NOTICE TO THE PUBLIC

To manage growth and foster prosperity by prioritizing the protection of environmental assets, the development and maintenance of infrastructure, and the health, safety, and well-being of its citizens.

Any person who decides to appeal any decision of the Governing Board with respect to any matter considered at this meeting will need a record of the proceedings and for such purpose may need to provide that a verbatim record of proceeding is made, which record includes testimony and evidence upon which the appeal is to be based. (Section 286.0105, Florida Statutes) Any person requiring reasonable accommodation at this meeting because of a disability or physical impairment should contact the County Administrator's Office, Lecanto Government Bldg., 3600 W. Sovereign Path, Suite 267, Lecanto, FL 34461 (352) 527-5210, If you are hearing or speech impaired, dial 7-1-1, 1-800-955-8771 (TTY) or 1-800-955-8770 (v), via Florida Relay Service at least two days before the meeting.

A. CALL TO ORDER

A.1. Invocation

A.2. Pledge of Allegiance

A.3. Roll Call

B. CHAIRMAN TO READ THE APPEAL PROCESS AND MEETING PROCEDURES

C. OPEN TO THE PUBLIC -

D. APPROVAL OF MINUTES

E. STAFF ANNOUNCEMENTS

F. EX PARTE COMMUNICATION - COUNTY ATTORNEY

G. APPLICATIONS

G.1. July 16, 2026, Planning and Development Commission Agenda, Map, and Directions.

G.2. CU-2026-00006 Crouch Homes LLC for Linda Sveda

H. ADDITIONAL ITEMS

I. PLANNING AND DEVELOPMENT COMMISSION MEMBER COMMENTS

J. ADJOURN



G.1.

AGENDA MEMORANDUM

FROM:	Eric Landon, Growth Management Director				
SUBJECT:	July 16, 2026, Planning and Development Commission Agenda, Map, and Directions.				
AGENDA DATE:	July 16, 2026				
<u>BRIEF OVERVIEW:</u> Review Agenda, Map and Directions					
<u>STRATEGIC PLANNING ELEMENT:</u>					
<u>BUDGET IMPACT/FUNDING SOURCE:</u>					
Account No.	Account Title	Current Budget	YTD Expenditure	Encumbrances	Available Balance
N/A					
<u>RECOMMENDED ACTION:</u> Review Agenda, Map and Directions					
<u>ATTACHMENTS:</u> 1. 7.16 Agenda, Directions & Map					



**CITRUS COUNTY
PLANNING AND DEVELOPMENT COMMISSION
Thursday, July 16, 2026 at 9:00 AM
Lecanto Government Building
3600 West Sovereign Path, Room 166
Lecanto, Florida 34461**

DAVID BRAMBLETT, CHAIR

ROBERT SHARRA

JENETTE COLLINS, 1st VICE CHAIR

KURT STONE

MICHAEL FACEMYER, 2nd VICE CHAIR

TIMOTHY GILBERT (Alternate)

RICHARD BARMES

JANIS MURPHY (Alternate)

STUART BOZEMAN

CHUCK DIXON (School Board)

- A. CALL TO ORDER**
- B. INVOCATION**
- C. PLEDGE OF ALLEGIANCE**
- D. ROLL CALL**
- E. CHAIRMAN TO READ THE APPEAL PROCESS AND MEETING PROCEDURES**
- F. OPEN TO THE PUBLIC – Receive comments from the public**
- G. APPROVE MINUTES – Approval of available minutes**
- H. STAFF ANNOUNCEMENTS**
- I. EX PARTE COMMUNICATION: County Attorney**
- J. APPLICATIONS**

1. LAND USE APPLICATION

a. CU-2026-00006 Crouch Homes LLC for Linda Sveda

REQUEST: Request to allow an accessory dwelling unit over 850 square feet for noncommercial occupancy on parcels of at least 5 acres in size per Section 3101, Residential Accessory Uses, as specified in the LDC.

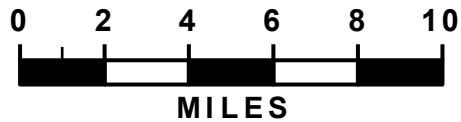
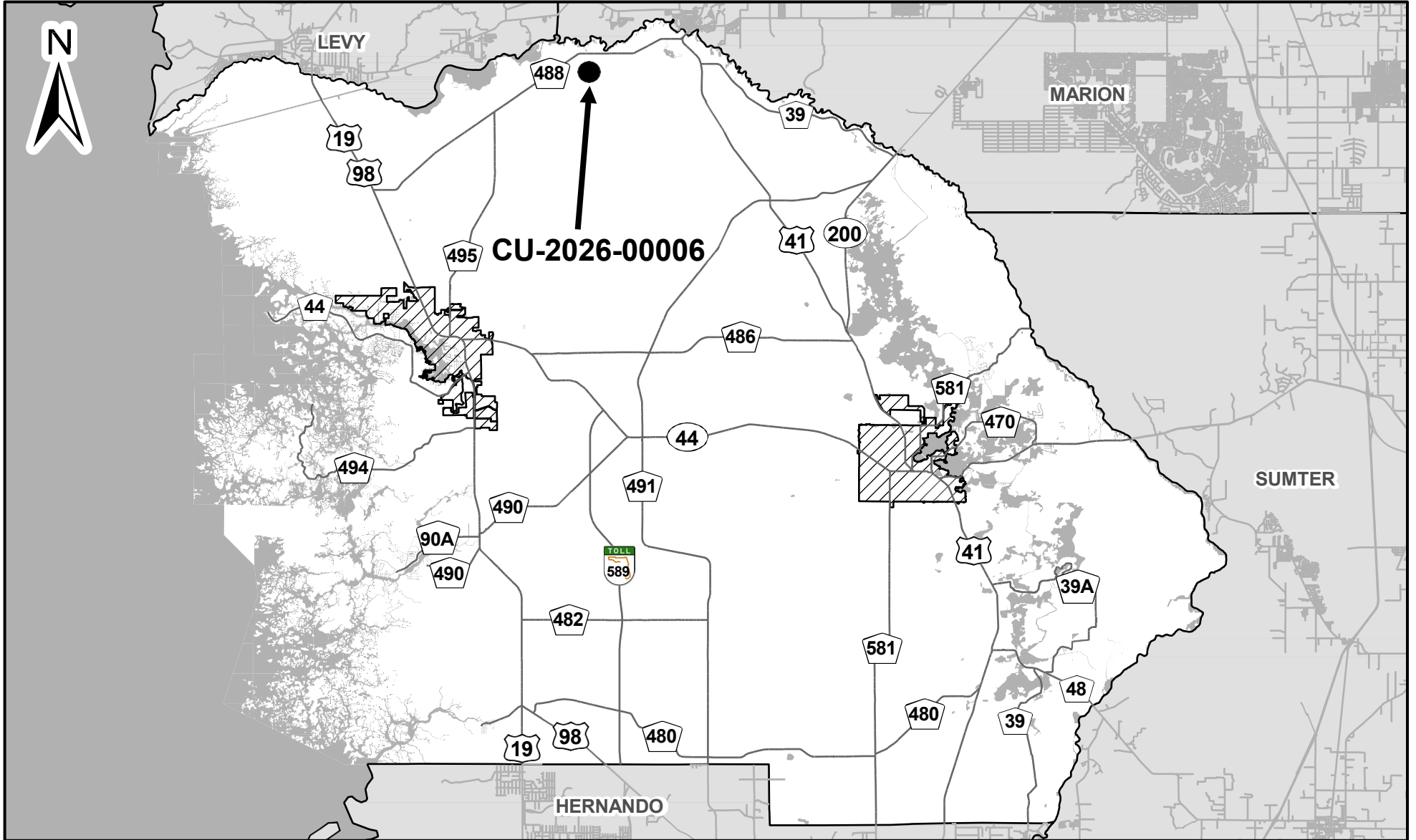
LOCATION: Section 08, Township 17 South, Range 18 East; specifically, Tract M-2, Circle M Ranchettes Unrecorded Subdivision, Alt Key 1207568, whose address is 10691 N. Manhattan Pt., Dunnellon, FL. A complete legal description is on file with the Land Development Division.

STAFF CONTACT: Frankie Piland, Planner, Land Development

K. PLANNING AND DEVELOPMENT COMMISSION MEMBER COMMENTS

L. ADJOURN

If any person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting or hearing, he or she will need a record of the proceedings and, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes testimony and evidence upon which the appeal is to be based.



LOCATOR MAP

Planning & Development Commission

July 16th, 2026



Planning and Development Commission

Directions for meeting on July 16th, 2026

CU-2026-00006 – Crouch Homes LLC for Linda Sveda

From the intersection of Saunders Way and CR-491, turn left onto CR-491. Travel approximately 12 miles and turn left at N. Florida Ave/Hwy 41 and go approximately 5.5 miles. Turn left onto W Dunnellon Rd/FL-488 and travel approximately 2.5 miles and turn left onto N Circle M Ave for another 1.25 miles and turn right on W Oak Hill St. Go for .5 mile and turn right on N Manhattan Pt. The destination is the first home on the right.



AGENDA MEMORANDUM

FROM:	Eric Landon, Growth Management Director
SUBJECT:	CU-2026-00006 Crouch Homes LLC for Linda Sveda
AGENDA DATE:	July 16, 2026
<u>BRIEF OVERVIEW:</u>	
Request to allow for an accessory dwelling unit with over 850 square feet of living area for noncommercial occupancy on a parcel of at least 5 acres in size per Section 3101, <u>Residential Accessory Uses</u>, as specified in the LDC. The parcel is 9.6 acres and lies in <u>Section 08, Township 17 South, Range 18 East</u>; specifically, Tract M-2, Circle M Ranchettes Unrecorded Subdivision, Alt Key 1207568, which address is 10691 N. Manhattan Pt., Dunnellon, FL.	
<u>STRATEGIC PLANNING ELEMENT:</u>	
<u>BUDGET IMPACT/FUNDING SOURCE:</u>	
-	
Account No.	Account Title Current Budget YTD Expenditure Encumbrances Available Balance
N/A -Applicant Responsibility	
<u>RECOMMENDED ACTION:</u>	
Conduct a public hearing on July 16, 2026, to review and consider application CU-2026-00006, Crouch Homes LLC for Linda Sveda. (Eric Landon, Director, Growth Management)	
<u>ATTACHMENTS:</u>	

1. Coordinator CU-2026-00006
2. Application
3. Site Plan
4. Construction Plans
5. Planner's PowerPoint
6. PDC Staff Report and Map

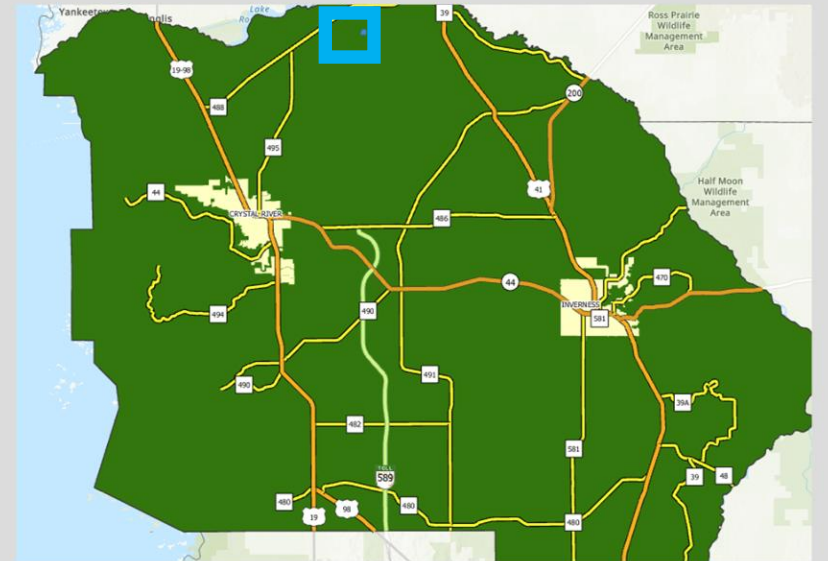
CU-2026-00006

**Crouch Homes LLC
for Linda Sveda**

N. MANHATTAN PT.

SUBJECT PROPERTY

W. OAKHILL ST.

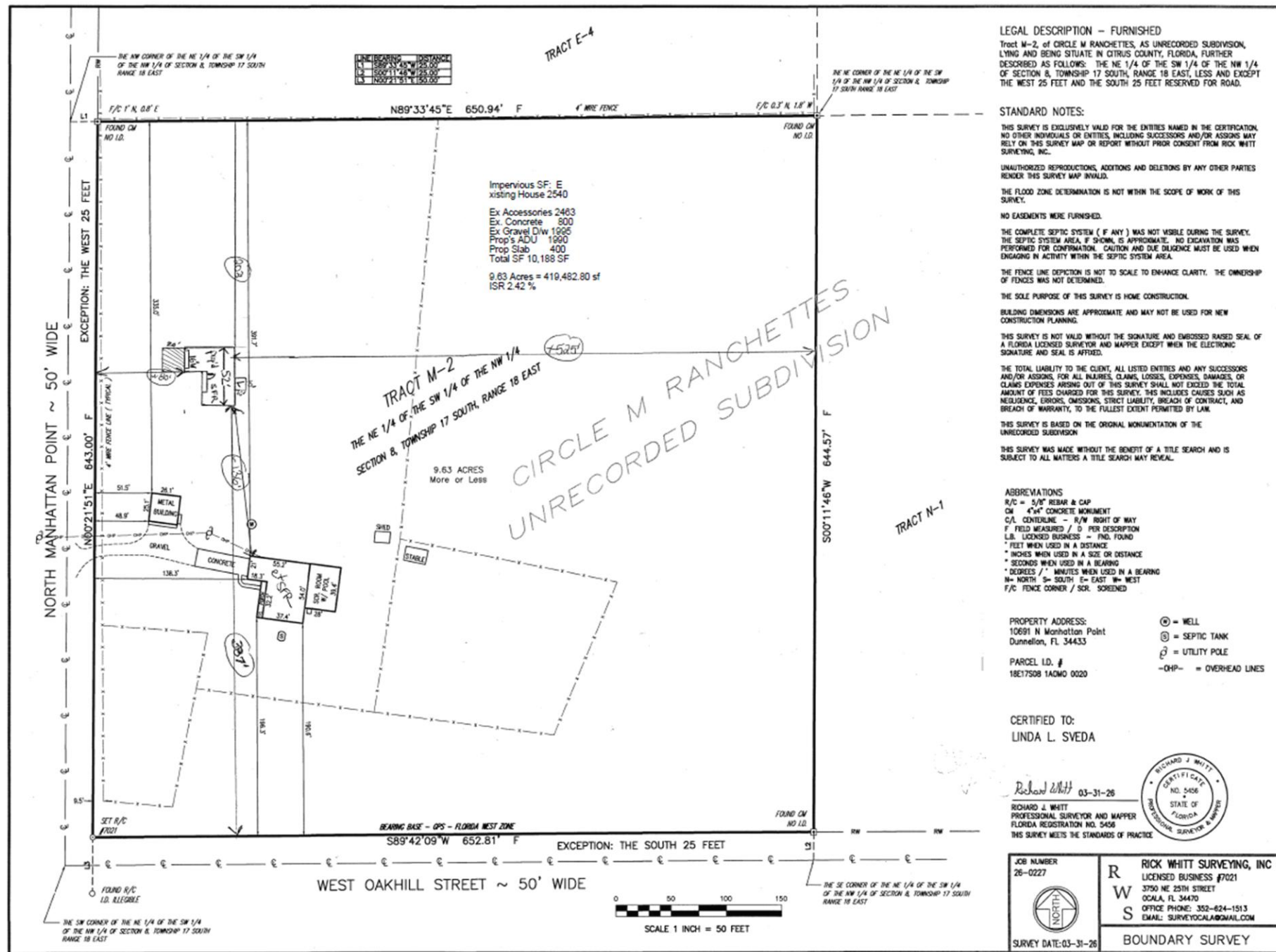














Board of County Commissioners
 DEPARTMENT OF GROWTH MANAGEMENT
 LAND DEVELOPMENT DIVISION
 3600 W. Sovereign Path, Suite 140
 Lecanto, FL 34461
 Telephone: (352) 527-5239 TTY Dial 711
 Web Address: www.citrusbocc.com

CITRUS COUNTY LAND DEVELOPMENT CODE
CONDITIONAL USE APPLICATION

Application No.: CU-2026-00006 Date: 4-16-2026
 * Written Authorization is required if Applicant is different than Owner.

Applicant*

Name: CROUCH HOMES LLC
 Address: 20702 W Pennsylvania Ave
 City: Bunnell
 State: FL Zip: 34431
 Home No.: 352-270-1901 Cell No.:
 Work No.: 352-309-6303 Fax No.:
 Email: recanzone56@gmail.com

Property Owner

Name: LINDA SURDA
 Address: 16491 W Manhattan Pt.
 City: Bunnell
 State: FL Zip: 34433
 Home No.: 352-895-2379 Cell No.:
 Work No.: Fax No.:
 Email: KKL239@icloud.com

Property Description: Section: 8 Township: 17S South Range: 18 East
Legal Description: WITHLACOOCHER RIVER BASIN
Subdivision: CIRCLE M. RANCHES
Alternate Key #: 1207568 Lot(s): TRACT M-2 Block/Parcel:
 Parcel ID: 18E17508-1A01MD 0020
 Acreage: 9.62

Is this hearing being requested as a result of a Code Violation Notice? Yes No X
 If "Yes", explain on a separate sheet and attach a copy of the Notice of Violation.

Conditional Use Request: NEW CONSTRUCTION SER 1,377 LIVING
BUILD MY SISTER A HOME ON MY 10 ACRES OF LAND TO ASSIST
ME WITH MY HANDI-CAP
Non-Commercial occupancy

Describe how it will/will not affect surrounding development:
 there is little growth here, few occupied surrounding parcels This parcel is in a rural area and as shown in our aerial image provided,

I am aware that if the property cannot be located using information from the submitted application, this application may be rescheduled to a later hearing date. I also understand that a sign must be placed (and marking flags may be placed) on the property by the Land Development Division at least seven days prior to the scheduled meeting.

I understand that approval for the proposed use shown hereon does not in any way relieve me of the responsibility of observing and complying with any deed restrictions applicable to the subject property.

I hereby authorize Citrus County or its agents to enter upon the property, which is the subject of this application and the date of the hearing thereon, at any time between the hours of 8:00 AM and 5:00 PM for the purpose of gathering any information relevant to this application.

RECEIVED

APR 23 2026

CU-2026-00006
 Land Development Division



Board of County Commissioners
DEPARTMENT OF GROWTH MANAGEMENT
LAND DEVELOPMENT DIVISION
3600 W. Sovereign Path, Suite 140
Lecanto, FL 34461
Telephone: (352) 527-5239 Fax (352) 527-5428
Toll Free (352) 489-2120 TTY (352) 527-5312
Web Address: www.citrusboce.com

I DO HEREBY SWEAR THAT THE INFORMATION CONTAINED HEREIN AND THE ATTACHMENTS HERETO ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

STATE OF FLORIDA
COUNTY OF CITRUS

Signature

Linda L. Sveda

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, personally appeared Linda L. Sveda, who is personally known to me or provided as identification and who did not take an oath.

WITNESS my hand and official seal this 16 day of April 2026

Carol L. Recanzone

Printed Name

Seal

Carol L. Recanzone
Notary Public - State of Florida



For Staff Use Only

Date: _____
Time: _____
Initials: _____

ATF: _____
QTR: _____
LUD: _____
FZ: _____

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APR 23 2026

CU-2026-00006
Land Development Division

Altkey: 1207568
SVEDA LINDA L

Parcel ID: 18E17S08 1A0M0 0020
10691 N MANHATTAN PT, DUNNELLON

Citrus County Property Appraiser, Cregg E. Dalton

PC Code
Bldg Counts
Nbhd
Tax District
Subdivision
Short Legal

0100 - SINGLE FAMILY
Res 1 / MH 0 / Comm 0
6602 - MINI FARMS/ROBERTSMITH/CIRCLEMRANCHETTES
000X - WITHLACOOCHIEE RIVER BASIN
000286 - CIRCLE M RANCHETTES (SEC 8)
CIRCLE M RANCHETTES UNREC SUB, TRACT M-2, MORE PART DESCAS
FOLLOWS:THE NE 1/4 OF SW 1/4 OF NW 1/4 OF SEC 8 TWN 17S RNG 18E.
418,920
9.62
08-17S-18E

Est. Parcel Sqft
Est. Parcel Acres
Map SC-TW-RG

Recording Activity Notification (RAN) system

WORRIED ABOUT PROPERTY FRAUD?

Mailing Address

Name
Mailing Address

SVEDA LINDA L
10691 N MANHATTAN PT
DUNNELLON FL 34433

HOME
ownership

All Owners

Name	Owner Type
SVEDA LINDA L	TR - Trustee
LINDA L SVEDA LIVING TRUST	UT - Under Trust

DATED THE 15 DAY OF MARCH 2022

Homestead Exemption

Code	Homestead Year Begin
R39 - Homestead	2005

Value History and Tax Amount

Year	Land Value	Impr Value	Just Value	Non-Sch. Assessed	Non-Sch. Exemptions	Non-Sch. Taxable	HX Cap Savings	Tax Estimate	Tax Link
2025	\$125,020	\$258,638	\$383,658	\$188,850	\$50,722	\$138,128	\$194,808	\$2,396.90	Link
2024	\$115,410	\$264,291	\$379,701	\$183,528	\$50,000	\$133,528	\$196,173	\$2,278.73	Link

Tax Estimate upon sale of the property (no assessment capping or exemptions)

Year	Tax Dist	District Name	Market Value	Millage Rate	Tax Estimate
2025	000X	WITHLACOOCHIEE RIVER BASIN	\$383,658	14.8298	\$5,900.41

Buyer Beware!

Property taxes may be affected with change in ownership. When buying real estate property, you should not assume that property taxes will remain the same. Whenever there is a change in ownership, the assessed value of the property may reset to full market value, which could result in higher property taxes. Please use our tax estimator to approximate your new property taxes. Homestead exemptions and agricultural classifications are not transferable to the new owner. You must apply for your own exemptions and agricultural classifications.

Special Assessments

Project #	Description	Amount
0030	SOLID WASTE, RESID IMPROV	\$27.00
0131	FIRE SERVICES ASSESSMENT	\$125.00
0154	STORMWATER	\$58.84

Sales

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APR 23 2026

CU-2026 00006
Land Development Division

Sale Date	Sale Price	Book/Page	Instr Type	V/I
03/15/2022	\$100	3263/1794	03-SAME FAMILY/DEED FOL	I
11/01/2004	\$230,000	1783/2105	00-WARRANTY DEED	I
04/01/1999	\$28,000	1298/1715	00-WARRANTY DEED	V
04/01/1997	\$20,500	1186/0189	00-WARRANTY DEED	V
06/01/1990	\$31,500	0859/1306	00-WARRANTY DEED	V
10/01/1988	\$27,000	0795/0622	01-CORRECTIVE/QC/TD/COT	V

DISCLAIMER

Sales do not generally appear in database until approximately 8 to 10 weeks after the recording date. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.

Permit Summary

Permit Date	Permit Number	Description	Amount	Occupancy Date
10/15/2024	BLD2024337479	*PRIVATE PROVIDER CT SOLUTIONS OF FLORIDA, LLC CONDUCTION INSPECTIONS ONLY* REPL	\$4,621	
02/22/2024	BLD202402343	RES REROOF, 5/12, 39SQ, METAL, HIGH TEMP PEEL AND STICK UNDERLAYMENT ** NOC IN O	\$44,475	
11/01/2022	202213832	26X25 ENCLOSED METAL BLDG ON SLAB W/26X3 RAMP DOOR STOOP 4X3 *NOC FOR METAL BLDG	\$16,067	
07/07/2021	202109764	CHANGE OUT SPLIT SYSTEM; N.O.C. not applicable	\$6,823	
04/01/2000	200003109	ENCL-SITE APPROV & NOC FO	\$4,917	
02/01/2000	200001580	POOL 12X24—SITE FOR POOL	\$10,500	
12/01/1999	199909430	SFD, NOC REQUIRED—GERLA	\$100	03/01/2000

Land & Agricultural

Line	Land Use	Type	Units	Frontage	Depth	Ag Flag	Classified Value	Just Value	Zoning
1	0108-RESIDENTIAL NON-WATERFRONT	A-ACREAGE	9.62	642.0	651				RURMH

Residential

Bldg Number	1
Class	R1 - RESIDENTIAL SINGLE FAMILY
Year Built	2000
Total FLA	1,956
Total Under Roof	2,541
Exterior Wall	32 - CONCRETE BLOCK STUCCO
Foundation	3 - CONT. FOOTING-AVG.
HVAC	109 - HEAT PUMP
Stories	1
Floor System	01 - CONC. SLAB
Roof Frame	02 - HIP
Roof Cover	09 - CUSTOM FIBERGLASS
Fuel	1 - ELECTRIC
Bedrooms/Full Baths/Half Baths	3/2/
Addl Fixtures	1
FPL: Stacks/Openings	1

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APR 23 2026

CU-202600006
Land Development Division

RCN
RCNLD

Additions to Base Area

Building	Description	Year Built	Area
1	MAIN BUILDING	2000	1,956
1	OPEN PORCH FIN	2000	165
1	GARAGE FINISHED	2000	420

Miscellaneous Improvements

Buildir #	Line	Description	Year Built	L	W	Units	Area	Value
1	1	SWIMMING POOL CONCRETE-[1-SF]						
1	2	SCREEN ENCLOSURE ALUMINUM-[1-SF]	2000	12	28	1	336	
1	3	SCRN PRCH WOOD ALUM WITH CONCRETE SLAB-[1-SF]	2000	18	40	1	720	
1	5	UTILY BLDG FIN WD/ALM W WOOD FLR-[1-SF]	2000	10	40	1	400	
1	7	OPEN POLE AVERAGE QUALITY	2010	10	13	1	130	
1	8	GARAGE DETACHD PRE-FAB/ALUM/STEEL W FLOOR-[1-SF]	2019	14	18	1	252	
			2023	25	25	1	625	

Total Misc Value

Legal Description

Legal Description

CIRCLE M RANCHETTES UNREC SUB, TRACT M-2, MORE PART DESC
AS FOLLOWS:

THE NE 1/4 OF SW 1/4 OF NW 1/4 OF SEC 8 TWN 17S RNG 18E.

--LESS--

THE W 25 FT & S 25 FT THEREOF RESERVED FOR RD.

DISCLAIMER

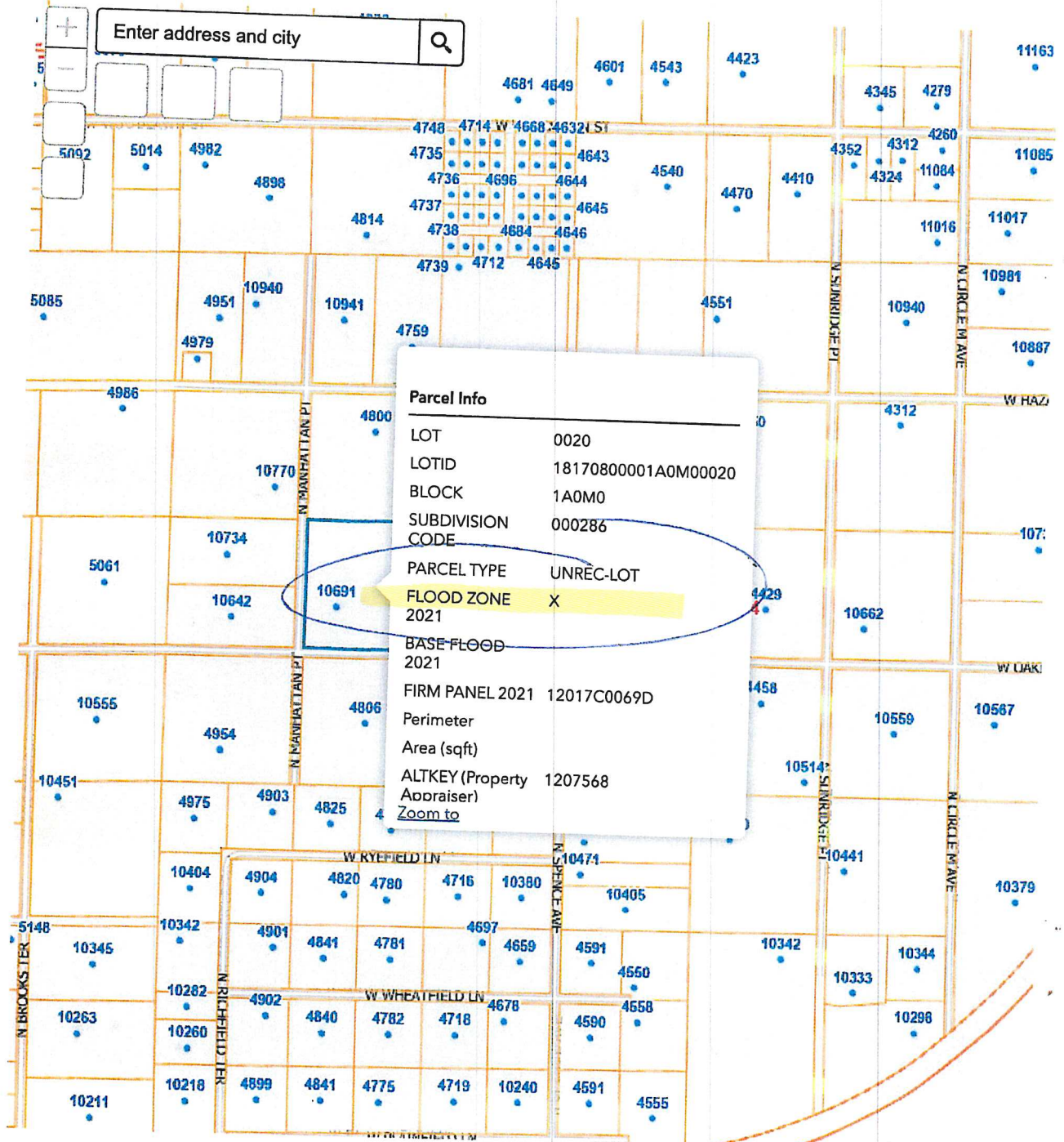
Legal description as shown is not to be used on legal documents. The legal description is intended for general information only. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the legal description.

1207568

RECEIVED

APR 23 2026

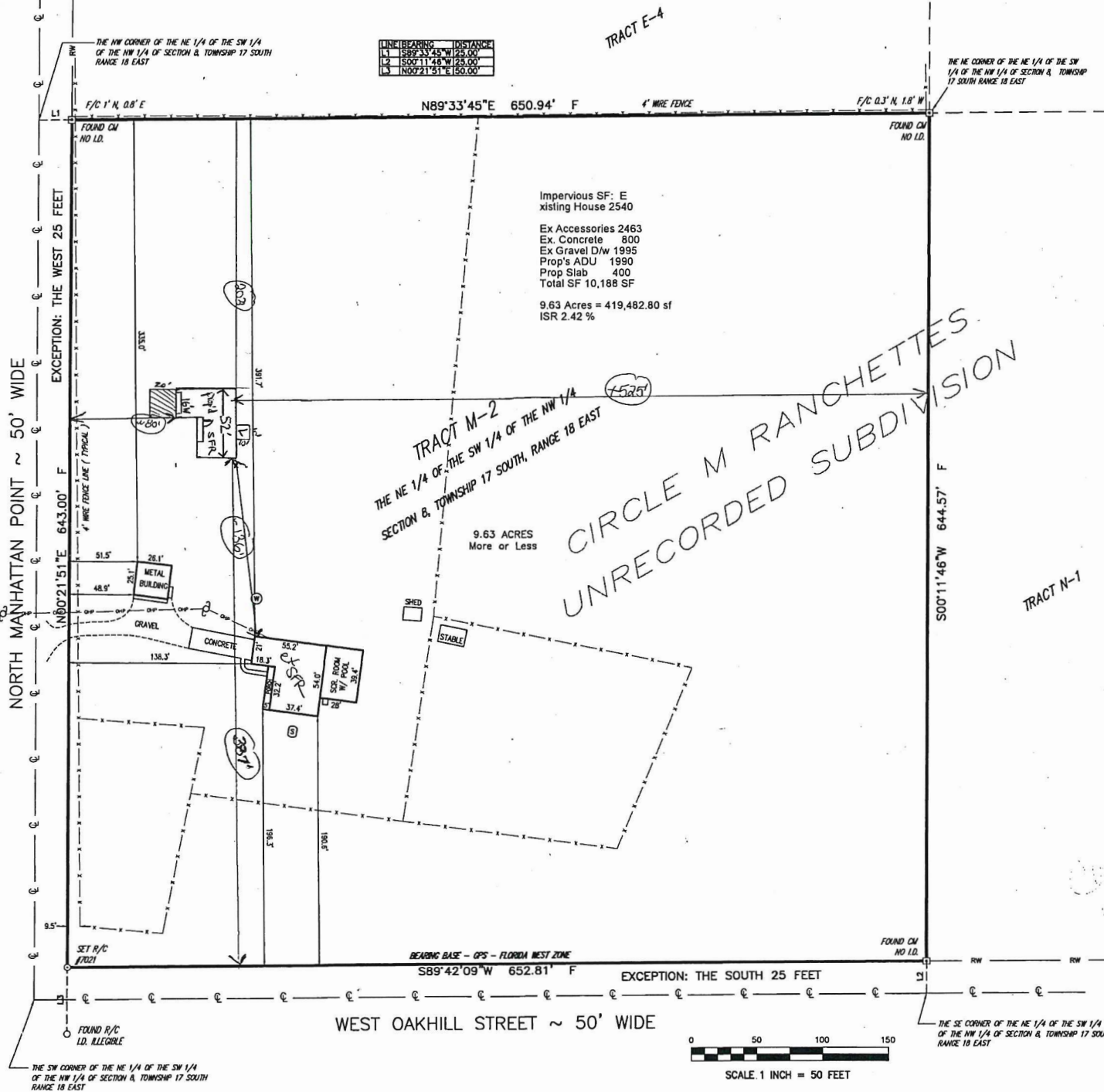
CU-2026 00006
Land Development Division



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APR 23 2026

CU 2026 00006
Land Development Division



LEGAL DESCRIPTION - FURNISHED

Tract M-2, of CIRCLE M RANCHETTES, AS UNRECORDED SUBDIVISION, LYING AND BEING SITUATE IN CITRUS COUNTY, FLORIDA, FURTHER DESCRIBED AS FOLLOWS: THE NE 1/4 OF THE SW 1/4 OF THE NW 1/4 OF SECTION 8, TOWNSHIP 17 SOUTH, RANGE 18 EAST, LESS AND EXCEPT THE WEST 25 FEET AND THE SOUTH 25 FEET RESERVED FOR ROAD.

STANDARD NOTES:

THIS SURVEY IS EXCLUSIVELY VALID FOR THE ENTITIES NAMED IN THE CERTIFICATION. NO OTHER INDIVIDUALS OR ENTITIES, INCLUDING SUCCESSORS AND/OR ASSIGNS MAY RELY ON THIS SURVEY MAP OR REPORT WITHOUT PRIOR CONSENT FROM RICK WHITT SURVEYING, INC.

UNAUTHORIZED REPRODUCTIONS, ADDITIONS AND DELETIONS BY ANY OTHER PARTIES RENDER THIS SURVEY MAP INVALID.

THE FLOOD ZONE DETERMINATION IS NOT WITHIN THE SCOPE OF WORK OF THIS SURVEY.

NO EASEMENTS WERE FURNISHED.

THE COMPLETE SEPTIC SYSTEM (IF ANY) WAS NOT VISIBLE DURING THE SURVEY. THE SEPTIC SYSTEM AREA, IF SHOWN, IS APPROXIMATE. NO EXCAVATION WAS PERFORMED FOR CONFIRMATION. CAUTION AND DUE DILIGENCE MUST BE USED WHEN ENGAGING IN ACTIVITY WITHIN THE SEPTIC SYSTEM AREA.

THE FENCE LINE DEPICTION IS NOT TO SCALE TO ENHANCE CLARITY. THE OWNERSHIP OF FENCES WAS NOT DETERMINED.

THE SOLE PURPOSE OF THIS SURVEY IS HOME CONSTRUCTION.

BUILDING DIMENSIONS ARE APPROXIMATE AND MAY NOT BE USED FOR NEW CONSTRUCTION PLANNING.

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND EMBOSSED RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EXCEPT WHEN THE ELECTRONIC SIGNATURE AND SEAL IS AFFIXED.

THE TOTAL LIABILITY TO THE CLIENT, ALL LISTED ENTITIES AND ANY SUCCESSORS AND/OR ASSIGNS, FOR ALL INJURIES, CLAIMS, LOSSES, EXPENSES, DAMAGES, OR CLAIMS EXPENSES ARISING OUT OF THIS SURVEY SHALL NOT EXCEED THE TOTAL AMOUNT OF FEES CHARGED FOR THIS SURVEY. THIS INCLUDES CAUSES SUCH AS NEGLIGENCE, ERRORS, OMISSIONS, STRICT LIABILITY, BREACH OF CONTRACT, AND BREACH OF WARRANTY, TO THE FULLEST EXTENT PERMITTED BY LAW.

THIS SURVEY IS BASED ON THE ORIGINAL MONUMENTATION OF THE UNRECORDED SUBDIVISION.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ALL MATTERS A TITLE SEARCH MAY REVEAL.

ABBREVIATIONS

R/C = 5/8" REBAR & CAP
CM 4"x4" CONCRETE MONUMENT
C/L CENTERLINE - R/W RIGHT OF WAY
F FIELD MEASURED / D PER DESCRIPTION
L.B. LICENSED BUSINESS - FND. FOUND
' FEET WHEN USED IN A DISTANCE
" INCHES WHEN USED IN A SIZE OR DISTANCE
" SECONDS WHEN USED IN A BEARING
" DEGREES / ' MINUTES WHEN USED IN A BEARING
N= NORTH S= SOUTH E= EAST W= WEST
F/C FENCE CORNER / SOL. SCREENED

PROPERTY ADDRESS:
10891 N Manhattan Point
Dunnellon, FL 34433

PARCEL I.D. #
18E17508 1A0M0 0020

⊙ = WELL
⊞ = SEPTIC TANK
⊕ = UTILITY POLE
-OHP- = OVERHEAD LINES

CERTIFIED TO:
LINDA L SVEDA

Richard J. Whitt 03-31-28

RICHARD J. WHITT
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 5456
THIS SURVEY MEETS THE STANDARDS OF PRACTICE



JOB NUMBER
28-0227



SURVEY DATE: 03-31-26

R
W
S
RICK WHITT SURVEYING, INC
LICENSED BUSINESS #7021
3750 NE 25TH STREET
OCALA, FL 34470
OFFICE PHONE: 352-624-1513
EMAIL: SURVEYOOCALA@GMAIL.COM

BOUNDARY SURVEY

LDD RECIVED 04/23/2026

"REMI MODEL"

NEW RESIDENCE FOR:

CROUCH HOMES

MARION COUNTY, FLORIDA

BUILDING CODES

FACILITY DESCRIPTION

TYPE OF ROOF - SLATED
ROOF MATERIAL - FIBERGLASS SHINGLES

BUILDING AND SITE INFORMATION

ZONING - R1
LAND USE - SINGLE FAMILY RESIDENTIAL

BUILDING HEIGHT

ACTUAL HEIGHT - 16'-2" (1 STORY)

BUILDING AREA TABULATION

TOTAL BUILDING AREA - 1,380 SQ.FT.

SOIL BEARING CAPACITY

MINIMUM CODE REQUIREMENTS - 2500 LB PSF
MINIMUM COMPACTION - 90% MIN. DRY WEIGHT

TYPE OF CONSTRUCTION

TYPE V-B UNPROTECTED, UNFIREPROOFED

OCCUPANCY CLASSIFICATION & LOAD

CLASSIFICATION - RESIDENTIAL

IMPORTANCE FACTOR - (1)

DESIGN CRITERIA

DESIGN WIND SPEED	130 MPH	
RISK CATEGORY	II	
EXPOSURE CATEGORY	C	
INTERNAL WIND COEFFICIENT	+0.18 & -0.18	
ALL COMPONENTS INCLUDING ROOFS AND WINDOWS SHALL BE DESIGNED TO THE FOLLOWING PRESSURES		
EFFECTIVE AREA	PRESSURE (PSF)	
SQ. FT.	OUT	IN
10	23.1	-25.8
20	21.1	-27.8
50	19.8	-25.0
100	18.8	-23.0

16' X 7' CMGD 24.8 - 27.8

STRUCTURAL LOADS

ROOF LIVE LOADS - 20 P.S.F. REMOVABLE
COLLECTING LOAD - 3 P.S.F.
FLOOR LIVE LOADS - 40 P.S.F.
ULTIMATE WIND SPEED - 140 M.P.H.
WINDWALL WIND SPEED - 140 M.P.H.
BASE VELOCITY P.S.F. - 36.47 P.S.F. @ 33'-4" MEAN ROOF HT.

FIRE RESISTANCE OF COMPONENTS

INTERIOR BEARING WALLS - N/A
EXTERIOR BEARING WALLS - N/A
COLUMNS AND BEAMS - N/A
ROOF/FLOOR ASSEMBLY - N/A

PLUMBING REQUIREMENTS

RESIDENTIAL - N/A

	REQUIRED	PROVIDED
TOLLET -	1	1
WATER CONNECTION -	1	1
LAVATORY -	1	1
TUB -	1	1

EGRESS REQUIREMENTS

MINIMUM NUMBER OF EXITS - 1
MINIMUM WIDTH OF EXITS - 24" MINIMUM ENTRANCE DOOR
FIRST FLOOR SLEEPING AREAS - 5 SQ.FT. OF CLEAR
N ROOMS W/O DOORS
TO THE EXTERIOR

EXTERIOR DOOR MANUFACTURER:

SEE ATTACHED DATA

WINDOW MANUFACTURER:

SEE ATTACHED DATA

ROOF SHINGLE MANUFACTURER:

SEE ATTACHED DATA

ATTIC VENTILATION REQUIREMENTS

NET AREA 1800 SF / 300 = 6.00 SF
EXIST. 6.00 SF = 6.00 SF
REQUIRED 6.00 SF = 6.00 SF
DATE: 2/24/17 BY: R/144/LF = 14.00 SF

NOTE: ROOF VENTING IS TO BE PROVIDED IN ADDITION TO ROOF VENTILATION

DESIGN CODE REFERENCE

BUILDING CODE - FLORIDA RESIDENTIAL BUILDING CODE - 8TH EDITION (2013)
ELECTRICAL CODE - NATIONAL ELECTRICAL CODE - 2010 EDITION
PLUMBING CODE - FLORIDA PLUMBING CODE - 8TH EDITION (2013)
MECHANICAL CODE - FLORIDA MECHANICAL CODE - 8TH EDITION (2013)
FIRE CODE - FLORIDA FIRE PREVENTION CODE - 8TH EDITION (2013)
GAS CODE - FLORIDA GAS CODE - 8TH EDITION (2013)
NFPA 70 - NATIONAL FIRE ALARM CODE (2010)
NFPA 72 - NATIONAL FIRE ALARM CODE (2010)
NFPA 78 - AUTOMATIC DETECTION DEVICES (LATEST EDITION)
NFPA 101 - LIFE SAFETY CODE (2013)
NFPA 80 - FIRE DOORS AND WINDOWS (2010)
CSHA
ACI-318 - BUILDING REQUIREMENTS FOR REINFORCED CONCRETE (2010)
AISC CODE OF STANDARD PRACTICE (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION)
5-310 SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STEEL

TRUSS SUBMITTAL CERTIFICATION

DATE: 18 JUNE 2016
PROJECT: FOX 1721 - 303 - 009
PERMIT NUMBER: 180
TRUSS MANUFACTURER: DALEY TRUSS LLC
JOB NO: 10119

TO: MARION COUNTY BUILDING DEPARTMENT

I CERTIFY THAT I HAVE REVIEWED THE ATTACHED TRUSS CALCULATIONS AND ENGINEERING DATED 10-JUNE-2016 FOR THE ABOVE-MENTIONED PROJECT, AND THE DESIGN SHOWN AND SEALED BY THE TRUSS ENGINEER MEETS OR EXCEEDS THE DESIGN SPECIFIED ON THIS PLAN SET. OTHER COMPONENTS OF THE TRUSS PACKAGE (INCLUDING, BUT NOT LIMITED TO, CONNECTIONS, TRUSS LOADS, LOAD PATH, BEARING POINTS, ETC.) HAVE BEEN REVIEWED IN THEIR ENTIRETY AND ARE IN COMPLIANCE WITH SPECIFICATIONS OF THE PLAN SET. THE LOADINGS ARE COMPLIANT WITH THE DESIGN ASSUMPTIONS BY THE DESIGN AND WILL SATISFY THE 2013 FBC REQUIREMENTS.

CONSTRUCTION NOTES

GENERAL

C01 - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR START OF CONSTRUCTION.
C02 - THE GENERAL CONTRACTOR SHALL PROVIDE ALL WEATHER NECESSARY TO PROTECT THE STRUCTURE, ALL WORKERS AND ALL OTHER PEOPLE PRESENT DURING CONSTRUCTION. HE SHALL SUPERVISE AND DIRECT THE WORK AND BE RESPONSIBLE FOR ALL CONSTRUCTION.
C03 - THE GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ANCHORS, CHIMNEYS, SUPPORTS, OR ANY OTHER ITEMS WHICH MAY EFFECT STRUCTURAL DRAWINGS.

FOUNDATION

F01 - ALL ORGANIC MATERIALS, BEFORE MATERIALS AND SOFT AREAS IN SOIL SHALL BE REMOVED AND THE SOIL PREPARED FOR AN ALLOWABLE BEARING PRESSURE OF 2000PSF.
F02 - SHOULD THE CONTRACTOR DISCOVER ANY CONDITION WHICH COULD PREVENT THE ATTAINMENT OF THE STATED DESIGN PRESSURE, HE SHALL NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY.

SLAB ON GRADE

F03 - COMPACT INTERIOR FILL TO 95% MINIMUM MAX DRY DENSITY (MODIFIED PROCTOR, ASTM D1557-SAY OPTIMUM WETTING CONTENT). SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A REPRESENTATIVE FROM A QUALIFIED LABORATORY APPROVED BY THE ENGINEER. EACH LAYER OF FILL SHALL NOT EXCEED 10" AND SHALL BE COMPACTED PRIOR TO THE PLACEMENT OF THE NEXT FILL LAYER.
F04 - ALL FLOOR SLABS SHALL BE PLACED UPON A 4" THICK SAND LAYER FOR FINE GRADING.

CONCRETE AND REINFORCING

C04 - CONCRETE SHALL CONFORM TO ACI STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318 - 2010).
C05 - CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH AS FOLLOWS:
FOUNDATIONS, FILLER CELLS AND CONCRETE BEAMS - 3000PSI
SLABS ON GRADE - 3000PSI
C06 - ALL REBAR SHALL CONFORM TO ASTM-A615, GRADE 60, AND SHALL LAP A MINIMUM OF 36" AT ALL JOINTS.
SLABS WITH FIBER MESH OR WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-183-02.
C07 - COVER FOR ALL REINFORCING STEEL SHALL BE AS FOLLOWS (UNLESS NOTED):
ALL FOOTINGS - 3"
SLABS ON GRADE - 1-1/2" FROM TOP OF CONCRETE
ALL BEAMS - 1-1/2" ON TOP/SIDE
C08 - VERTICAL REBAR WALL REINFORCING SHALL BE A STANDARD HOOK WITH A 25" PROJECTION ABOVE SLAB AND HAVE A MINIMUM 7" EMBEDMENT.

MASONRY

M01 - ALL MASONRY CONSTRUCTION SHALL CONFORM TO ACI STANDARD BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 800-14).
M02 - ALL CONCRETE BLOCKS SHALL CONFORM TO ASTM C 90. 120 SIX STENGTH MUST EXCEED 3000PSI, FW SHALL EQUAL 1500PSI LBS IN A RUNNING BOND.
M03 - ALL MORTAR SHALL BE TYPE S OR M.
M04 - REINFORCE ALL CHIMNEYS WITH A CONTINUOUS HORIZONTAL BOND BEAM GROUTED SOLID AND REINFORCE WITH A MINIMUM OF (1) #5 REBAR WITH A 25" OVERLAP AT EACH JOINT.
M05 - WHERE SHOWN, ALL VERTICAL CELLS OF BLOCK MASONRY SHALL BE FILLED WITH 3000PSI GROUT HAVING A VERTICAL REBAR WITH A MINIMUM 25" OVERLAP AT EACH JOINT.
M06 - GROUT FOR FILLED CELLS SHALL BE Poured OR Poured IN LITS NOT TO EXCEED 18"-6" IN HEIGHT AND SHALL BE CONSOLIDATED AT THE TIME OF POURING BY RODDING OR VIBRATING.
M07 - PROVIDE ENDOURTS IN CHIM AT THE BASE OF EACH FILLED CELL TO ALLOW VISUAL VERIFICATION OF COMPLETE GROUT PENETRATION.

STRUCTURAL LUMBER

L01 - ALL STRUCTURAL AND LOAD BEARING WALLS SHALL HAVE A MINIMUM PS OF 1200PSI.
L02 - WALLS HIGHER THAN 8'-0" SHALL HAVE INTERMEDIATE BRACING SPACED NOT GREATER THAN 7'-0" APART.
L03 - ALL LOAD BEARING WALLS SHALL HAVE A DOUBLE 2X 10.3 TOP PLATE.
L04 - ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESERVE TREATED.

STRUCTURAL STEEL

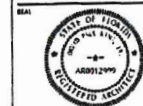
S01 - STEEL WORK SHALL CONFORM TO THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (USE THE LATEST EDITION).

DRAWING INDEX

ARCHITECTURAL

- COVER - BUILDING CODE DATA
- A1 - EXTERIOR ELEVATIONS
- A2 - FLOOR PLAN DOOR AND WINDOW SCHEDULES
- A3 - SECTION DETAILS
- E1 - ELECTRICAL PLAN
- S1 - FOUNDATION PLAN
- S2 - ROOF FRAMING PLAN
- S3 - LINTIL PLAN

David P. King
Digitally signed by David P. King
Date: 2025.06.24 12:56:11 -04'00'



GENERAL CONTRACTOR

CROUCH HOMES LLC
LICENSE NO. CBC1262041

David P. King, Jr.
ARCHITECT

7000 SW 81ST AVE
SUITE 100
DALEY TRUSS LLC
280.671.5707 (PH)
280.671.5707 (FAX)

REGISTRATION:
STATE OF FLORIDA
STATE OF FLORIDA
PROJECT

"REMI" MODEL
LEFT GARAGE

NEW
RESIDENCE
FOR

CROUCH HOMES
1751-AJ-007
5155 SCHLAGE
DUNNELLON

MARION COUNTY, FLORIDA

DRAWN BY: EBC

CHECKED BY: BPC

APPROVED BY: BPC

ARCHITECT'S PROJECT NO.:

CHECKED BY:

SHEET TITLE:

COVER
BUILDING CODE DATA

SHEET NUMBER

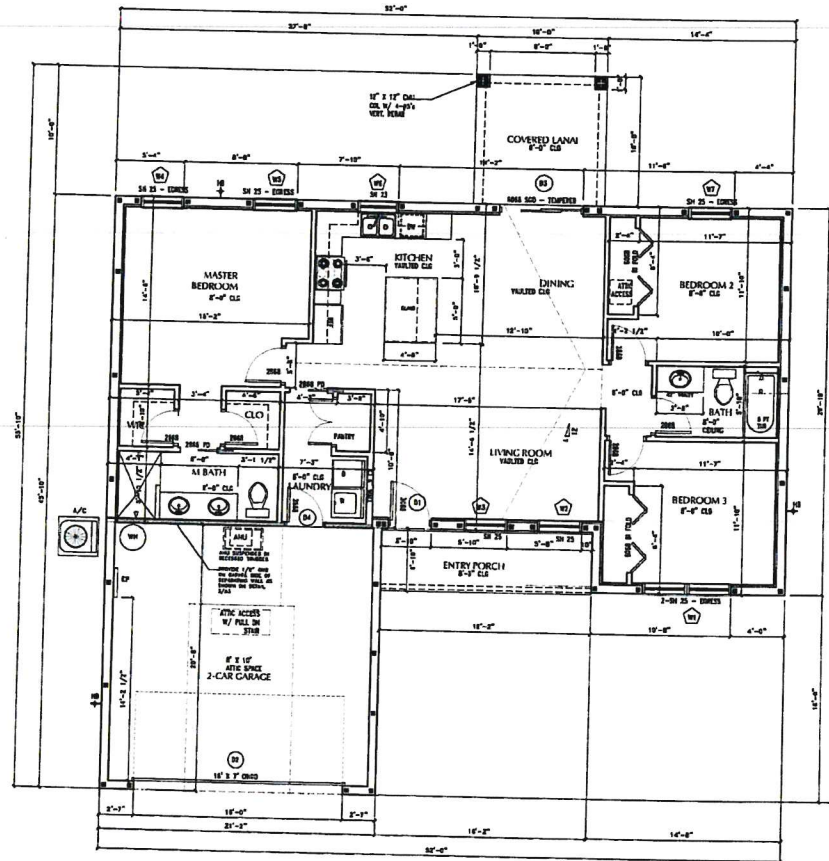
C

RECEIVED

APR 23 2026
Cell: 202 6 00006
Land Development Division

DOOR SCHEDULE					
MARK	DESCRIPTION	ROUGH OPENING BLOCK	HEADER	SQ. FTG	REMARKS
①	18'-0" x 7'-0" OHGD	18'-0" x 8'-0"		112	SECTIONAL GARAGE DOOR
②	8'-0" x 8'-0" SLD	20" x 80"		18.0	SOLID CORE DOOR
③	8'-0" x 8'-0" SLD	14'-0" x 80"		36.0	SLIDING GLASS DOOR - TEMPERED
④	8'-0" x 8'-0" SLD	24" x 80"		17.88	SOLID CORE DOOR
VERIFY ALL DOOR SIZES, TYPES, MANUFACTURER AND LOCATION W/ OWNER PRIOR TO CONSTRUCTION.					
COORDINATE ALL HEADERS WITH PLAN AND SCHEDULE ON SHEET S3					

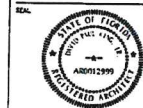
WINDOW SCHEDULE					
MARK	DESCRIPTION	ROUGH OPENING BLOCK	HEADER	SQ. FTG	REMARKS
①	2'-0" SH	15'-0" x 63"		23.00	
②	25 SH	27'-0 1/2" x 63"		18.3158	
③	25 SH	27'-0 1/2" x 63"		18.3158	
④	25 SH	27'-0 1/2" x 63"		18.3158	
⑤	25 SH	27'-0 1/2" x 63"		18.3158	
⑥	25 SH	27'-0 1/2" x 63"		18.3158	
⑦	25 SH	27'-0 1/2" x 63"		18.3158	
⑧	25 SH	27'-0 1/2" x 63"		18.3158	
⑨	25 SH	27'-0 1/2" x 63"		18.3158	
⑩	25 SH	27'-0 1/2" x 63"		18.3158	
VERIFY ALL WINDOW SIZES, TYPES, MANUFACTURER AND LOCATION W/ OWNER PRIOR TO CONSTRUCTION.					
COORDINATE ALL HEADERS WITH PLAN AND SCHEDULE ON SHEET S3					



AREA CALCULATION	
LIVING AREA	1,377 SF
GARAGE	438 SF
ENTRY PORCH	75 SF
COVERED LANAI	100 SF
TOTAL UNDER ROOF	1,990 SF

FLOOR PLAN
Scale 1/4" = 1'-0"

DRAWING MADE FOR PERMIT JUNE 11, 2025
REVISED



GENERAL CONTRACTOR

CROUCH HOMES LLC
LICENSE NO. CBC1262011

David P. King, Jr.
ARCHITECT

7330 SW 41ST AVE
SUITE 100
DADE CITY, FL 34605
(813) 293-8147

REGISTRATION:
STATE OF FLORIDA
STATE OF RECORD
PROJECT

"REMI" MODEL
LEFT GARAGE

NEW
RESIDENCE
FOR

CROUCH HOMES
1751 001 009
SW 10th PLACE
DUNNELLON

FLORIDA COUNTY, FLORIDA

DRAWN BY: EBC

CHECKED BY: EBC

APPROVED BY: EBC

ARCHITECT'S PROJECT No.: CROUCH 07

SHEET TYPE:

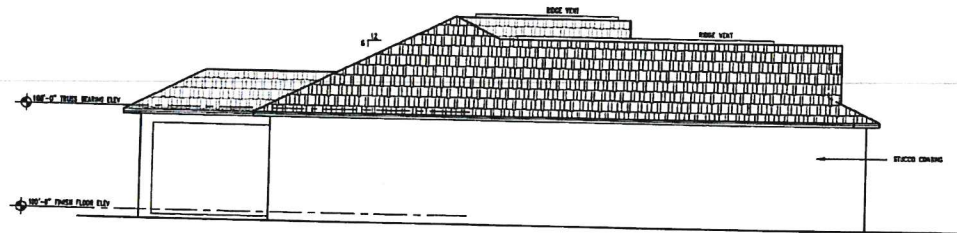
FLOOR PLAN

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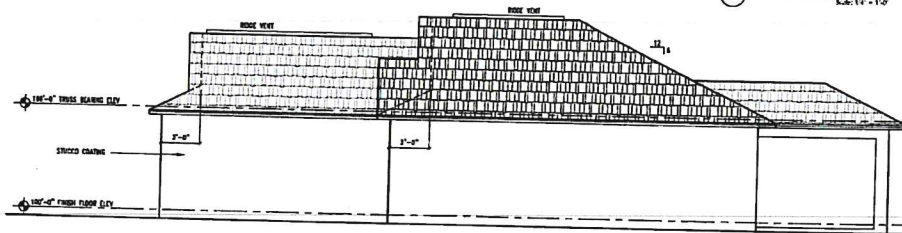
A1

RECEIVED

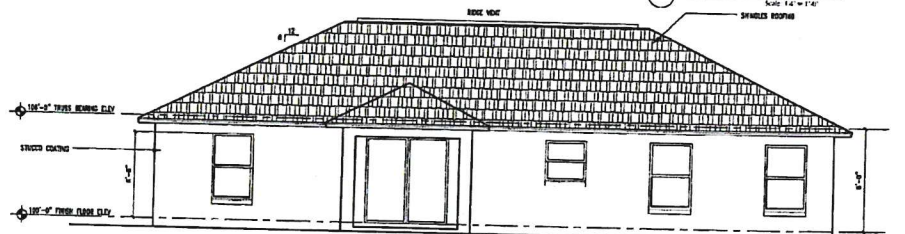
APR 23 2026
CLL-2026-00006
Land Development Division



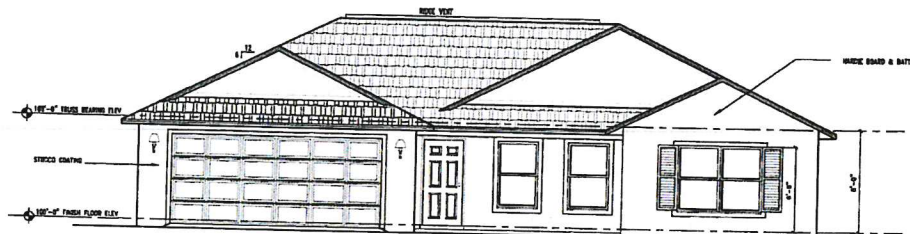
RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"



LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



REAR ELEVATION
Scale: 1/4" = 1'-0"



FRONT ELEVATION
Scale: 1/4" = 1'-0"

RECEIVED

APR 23 2026

CL-202600006
Land Development Division

DRAWING ISSUE FOR PERMIT JUNE 17, 2023
REVISED:



CROUCH HOMES LLC
LICENSE NO. CBC1262041

David P. King, Jr.
ARCHITECT
2000 NW 115TH AVE
SUITE 100
MIRAGE, FL 33478
352.874.3132 PWS
352.874.3130 FAX

REGISTRATIONS
STATE OF FLORIDA
STATE OF GEORGIA
PROJECT

"REM1" MODEL
LEFT GARAGE

NEW
RESIDENCE
FOR

CROUCH HOMES
1751 001 009
200 SUN PLACE
TUNNEL CREEK

MARION COUNTY, FLORIDA

DRAWN BY: EAC

CHECKED BY:

APPROVED BY: EPE

ARCHITECT'S PROJECT NO.:

DRAWN BY:

SHEET NO.:

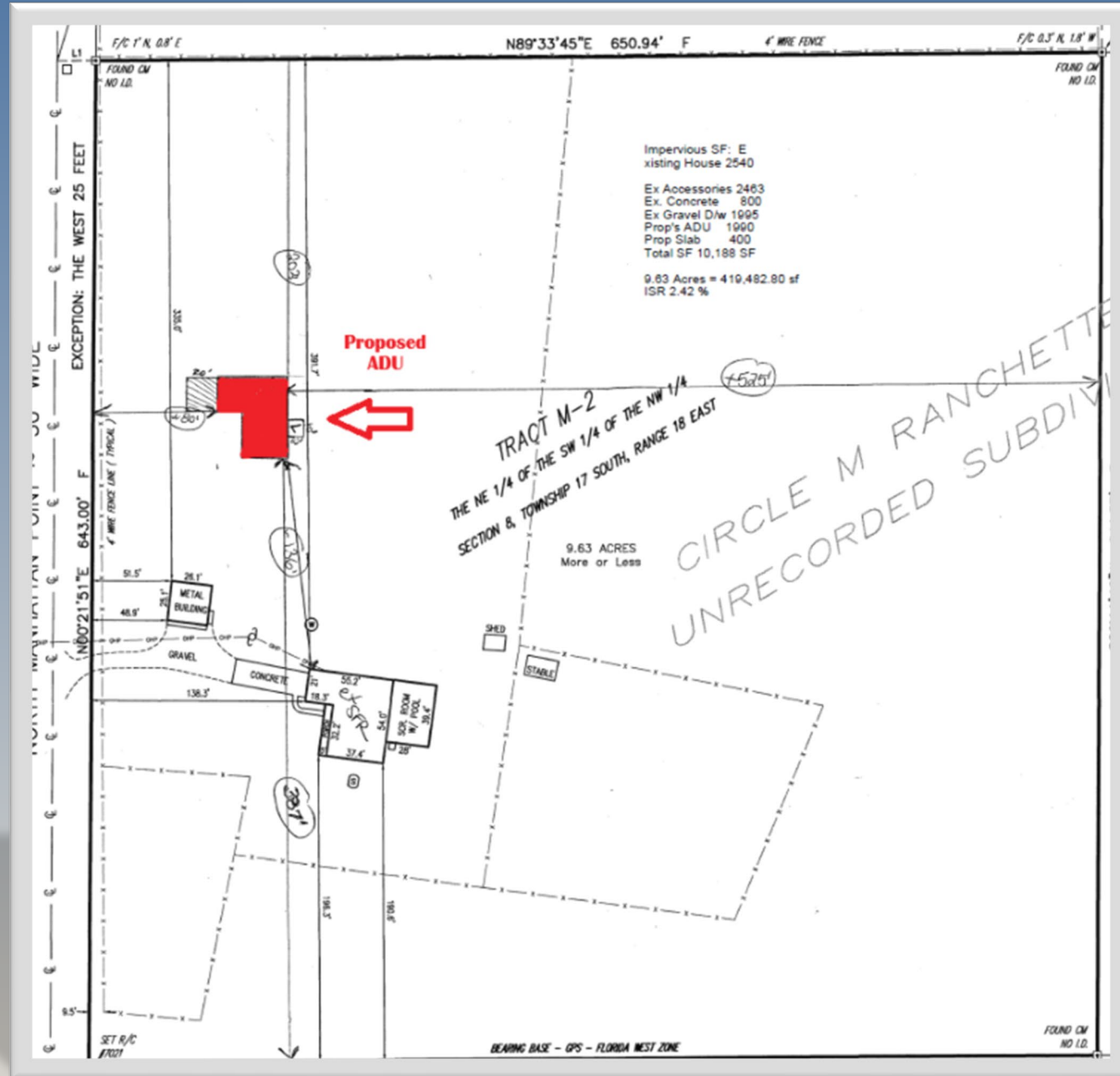
EXTERIOR ELEVATIONS

SHEET NUMBER

A2

CU-2026-00006

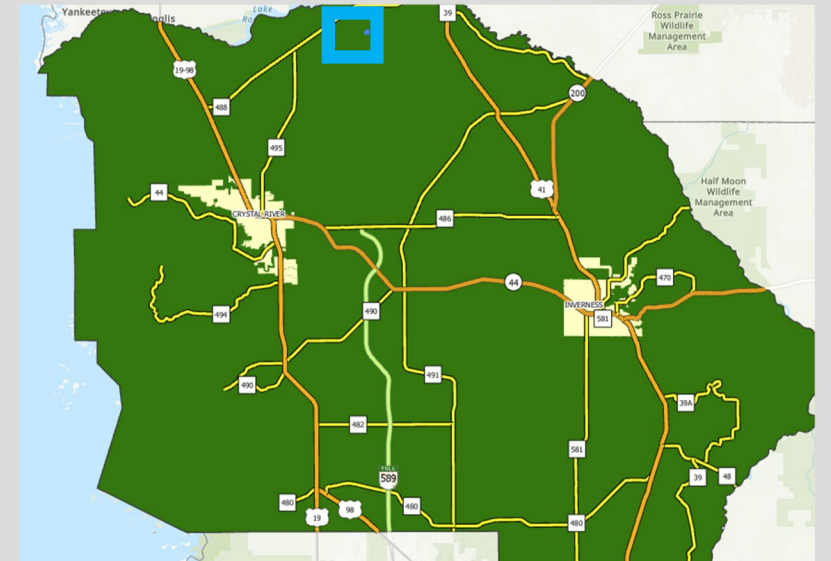
Crouch Homes LLC
for Linda Sveda



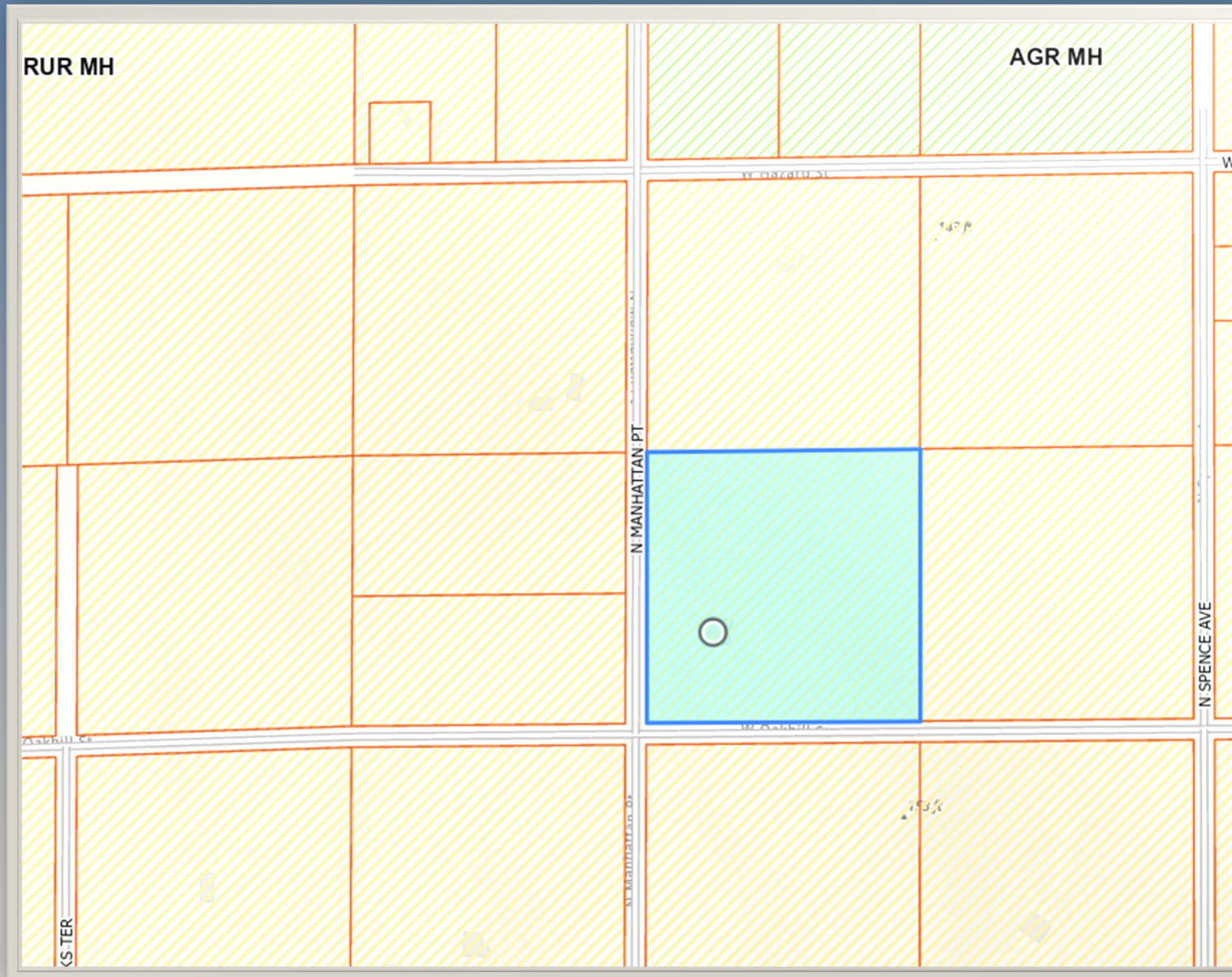
N. MANHATTAN PT.

SUBJECT PROPERTY

W. OAKHILL ST.



ZONING IS RUR (RURAL RESIDENTIAL)

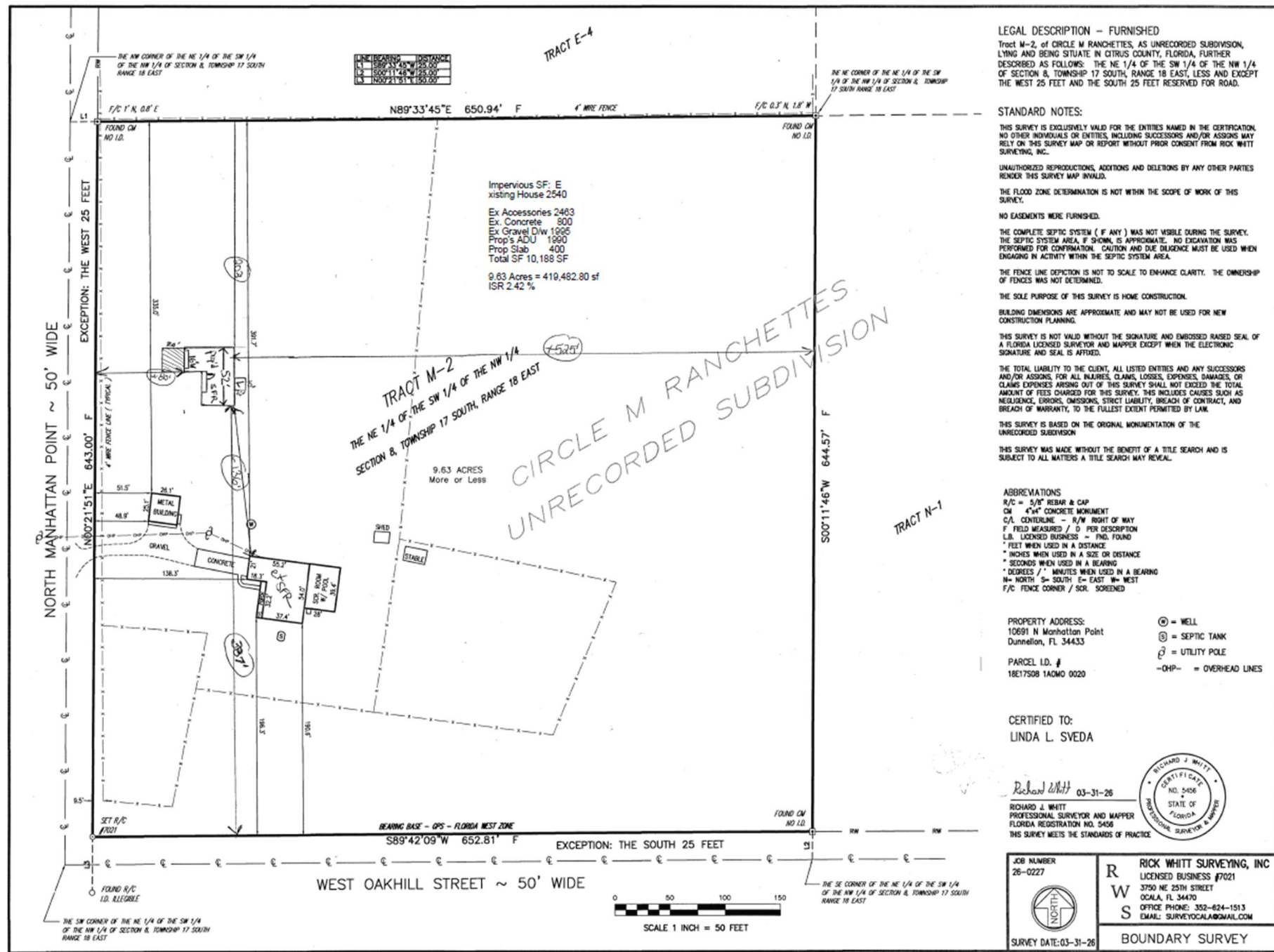


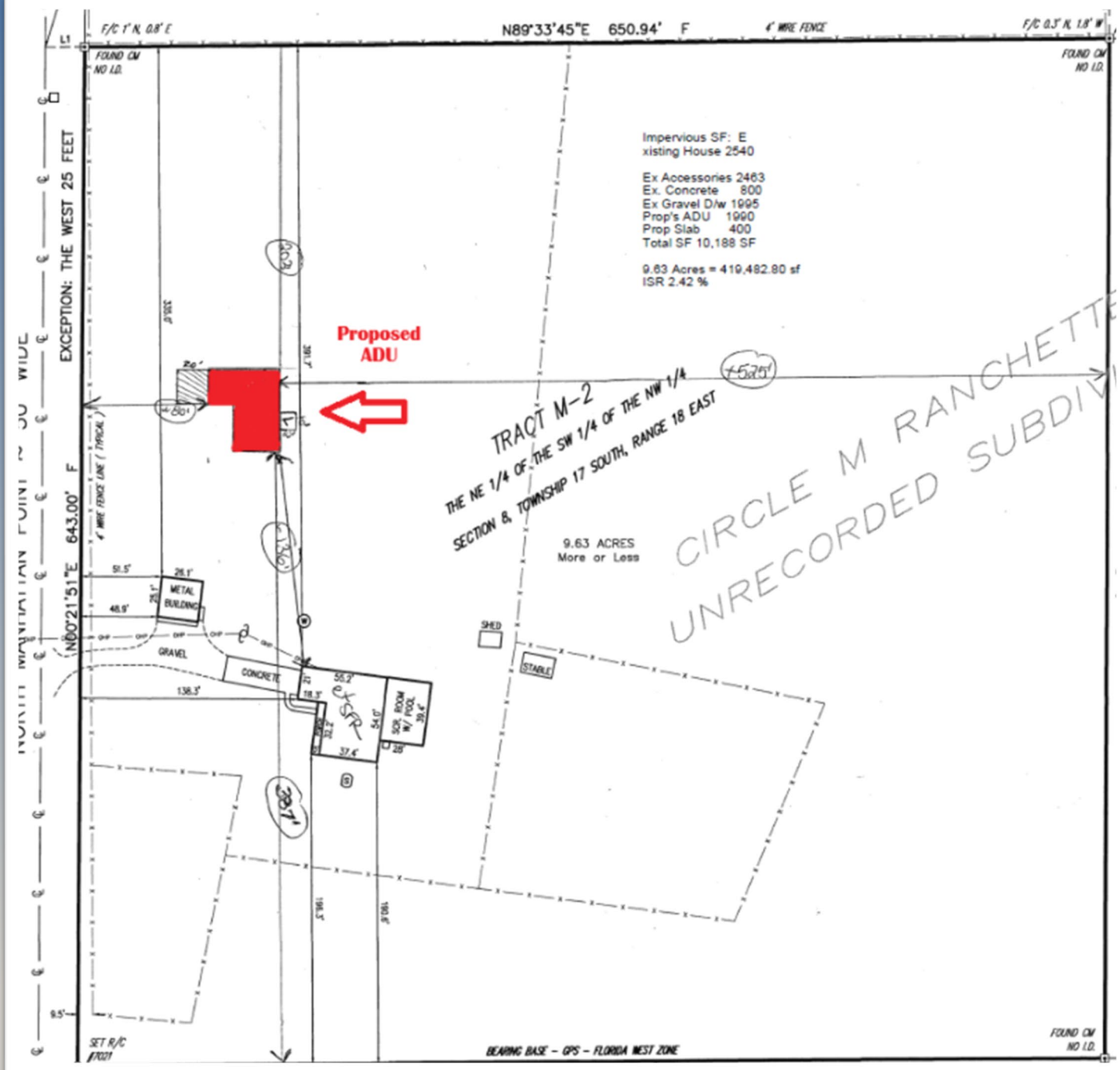


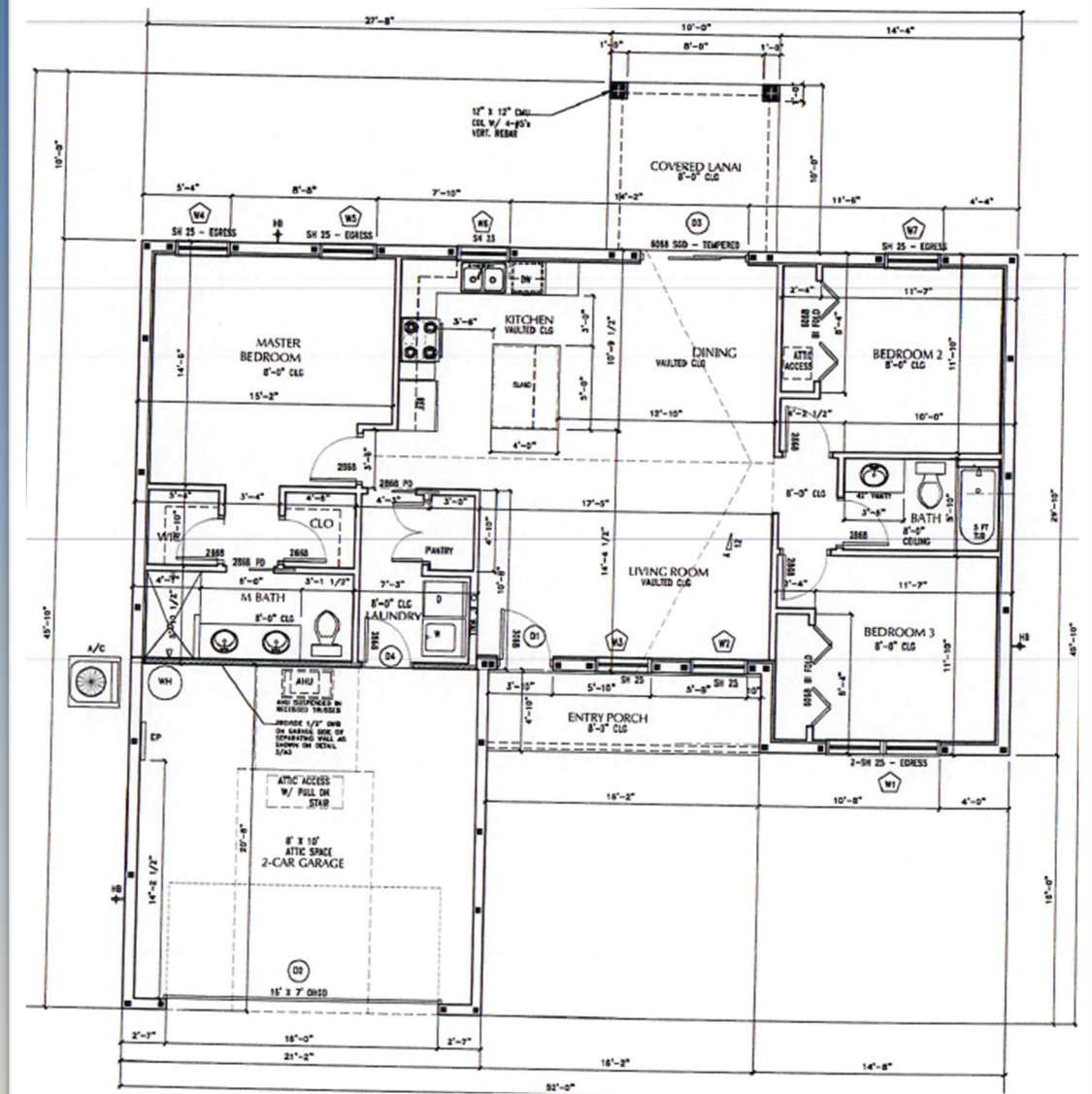
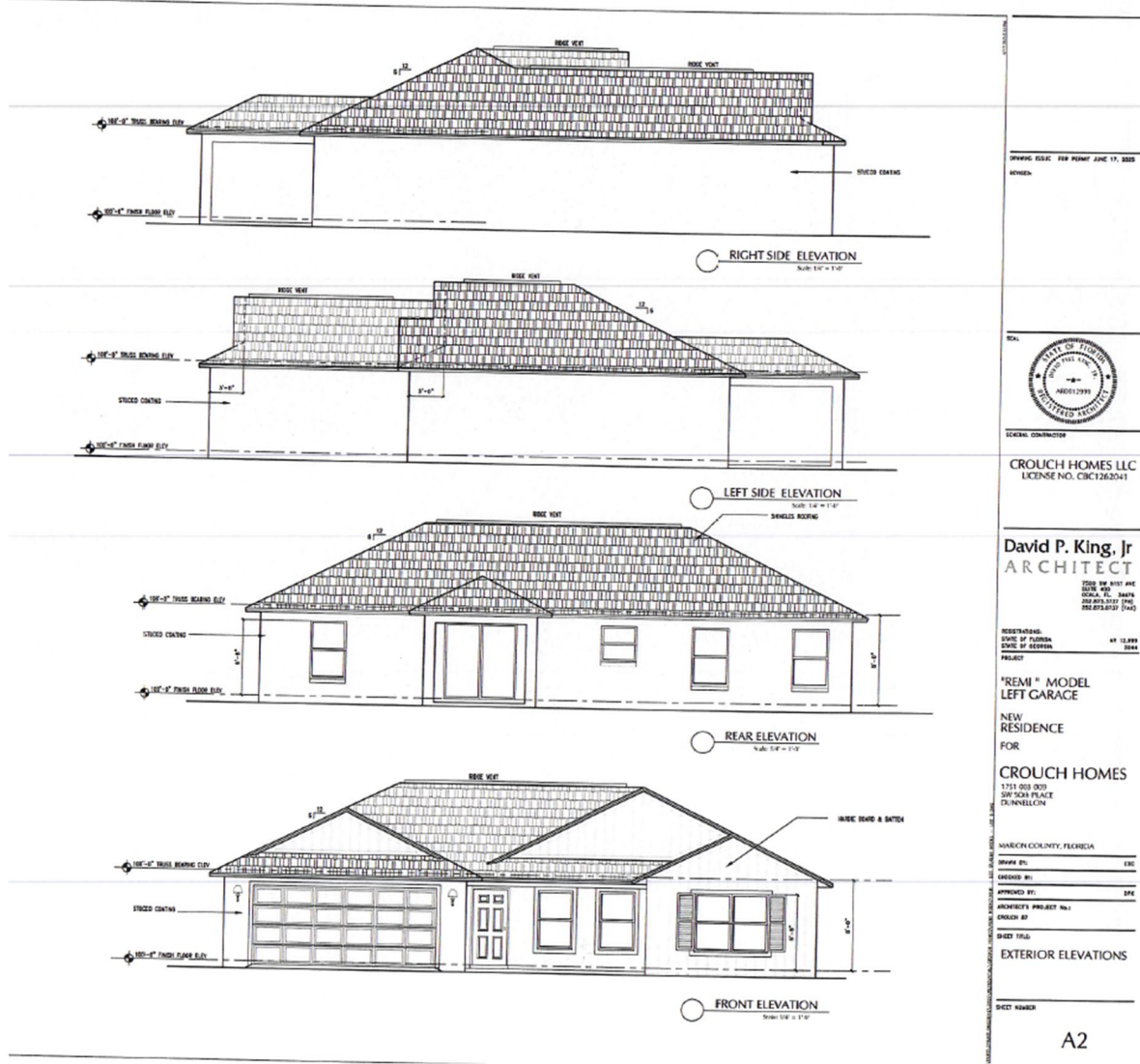


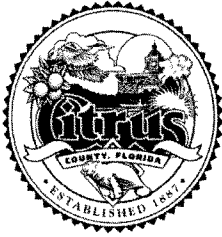












PM2-26-70

**DEPARTMENT OF GROWTH MANAGEMENT
LAND DEVELOPMENT DIVISION
STAFF FINDINGS REPORT
TO THE
PLANNING AND DEVELOPMENT COMMISSION**

APPLICATION NUMBER CU-2026-00006 Crouch Homes LLC for Linda Sveda

DATE: June 12, 2026

PREPARED BY: Frankie Piland, Planner, Land Development Division

CONDITIONAL USE REQUESTED	Request to allow for an accessory dwelling unit with over 850 square feet of living area for noncommercial occupancy on a parcel of at least 5 acres in size per Section 3101, <u>Residential Accessory Uses</u> , as specified in the LDC. Specifically, the applicant is requesting an accessory dwelling unit of approximately 1,377 square feet on an approximately 9.6 acre parcel.
SUBJECT PROPERTY	Section 08, Township 17 South, Range 18 East; specifically, Tract M-2, Circle M Ranchettes Unrecorded Subdivision, Alt Key 1207568, whose address is 10691 N. Manhattan Pt., Dunnellon, FL. A complete legal description is on file with the Land Development Division.
ACREAGE	Approximately 9.6 acres
LAND USE/ZONING:	Rural Residential on the Future Land Use Map; Rural Residential with mobile homes allowed on the Land Development Code Atlas Map
FLOOD ZONE	According to the Flood Insurance Rate Map (FIRM), the subject property is located in Flood Zone X, as found on Community Panel Number 12017C0069D.
SURROUNDING LDC ATLAS DESIGNATIONS	North – RUR MH, Rural Residential with mobile homes allowed district South– RUR MH, Rural Residential with mobile homes allowed district East – RUR MH, Rural Residential with mobile homes allowed district West – RUR MH, Rural Residential with mobile homes allowed district
SURROUNDING FLUM DESIGNATIONS	North – RUR, Rural Residential District South– RUR, Rural Residential District East – RUR, Rural Residential District West – RUR, Rural Residential District
SURROUNDING EXISTING LAND USE	North– Single-family dwelling South – Vacant residential East – Vacant residential West – Single-family dwelling and vacant residential

SOIL INFORMATION	According to the <i>Soil Survey of Citrus County</i> (1988), the soil types in the area are primarily Astatula Fine Sand 0 to 5 percent slopes, and Astatula Fine Sand 5 to 8 percent slopes. Limitations to building site development are slight.
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BACKGROUND AND ANALYSIS:

The subject property is approximately 9.6 acres in size and is located in an unrecorded subdivision and takes access from N. Manhattan Pt., a local public road. The property is a corner lot which also has frontage along W. Oakhill St.

The parcel is currently developed with a single family dwelling that was built in 1999. This structure has a total living area of 1,956 square feet. This application is a request to allow for an accessory dwelling unit (ADU) up to the maximum of 1,500 square feet. The applicant has indicated that the proposed ADU will be approximately 1,377 square feet based on the dimensions provided. The Land Development Code restricts accessory dwelling units to a maximum of 850 square feet of living area, but a Conditional Use can be considered for an ADU up to 1,500 square feet for parcels which are at least 5 acres in size. The average living area of dwellings in the surrounding area is approximately 1,688 square feet.

SUMMARY OF PUBLIC COMMENTS: Public comments have not been received as of the writing of this staff report.

Consistency with the Comprehensive Plan – All development applications shall demonstrate complete compliance with the Comprehensive Plan. The following policies are relevant to this application:

Policy 1.3.3 Citrus County shall encourage an equitable distribution of all housing opportunity for all housing types and all economic levels. Affordable housing, including workforce housing, shall not be forced into certain areas of the county, rather, it shall be permitted in all residential land use districts. Infrastructure shall be provided in accordance with the Capital Improvements Element and coordinated with the Planned Service Area (PSA) identified on the GFLUM.

Staff Comment: *This application provides for an affordable housing opportunity in a residential land use district.*

Policy 17.2.7 The County shall guide future development to the most appropriate areas, as depicted on the GFLUM, specifically those with minimal environmental limitations and the availability of necessary services.

Staff Comment: The subject property is outside the Planned Service Area. The submitted application shows the site is currently serviced by well and septic system.

Policy 17.2.8 The County shall utilize land use techniques and development standards to achieve a functional and compatible land use framework which reduces incompatible land uses.

Staff Comment: The application appears compatible with the surrounding residential area.

Consistency with the Land Development Code (LDC) – Staff reviewed this application under the standards of Section 2402, Rural Residential District, and Section 3101, Residential Accessory Uses, as specified in the LDC.

The Land Development Code allows for accessory dwelling units having 850 square feet of living area or less for noncommercial occupancy only. Only one such unit is allowed per residential site. Accessory dwelling units having up to 1,500 square feet of living area for noncommercial occupancy are allowable on parcels at least five acres in size, and up to 2,500 square feet of living area for noncommercial occupancy for parcels at least ten acres in size with a Conditional Use, provided the site is compatible with adjoining parcels.

The subject parcel is large enough to accommodate both homes and meet all development requirements with minimal impacts to the area. An additional septic tank may be required for the new dwelling unit.

Impervious Surface: The applicant has stated that the impervious surface ratio (ISR) will be approximately two and one half percent, which is below the twenty percent maximum ISR in the RUR District. As such, the application meets this LDC standard.

PROPOSED FINDINGS OF FACT

Pursuant to Section 4500, Conditional Uses, of the Citrus County Land Development Code (LDC), a Conditional Use application which meets the objective criteria of the LDC for that use shall be presumed entitled to approval. Such presumption may be rebutted by competent, substantial evidence that the applicable LDC criteria have not been met. Following completion of the public hearing, the PDC shall approve, disapprove, amend, and approve the proposal, or approve the proposal with conditions. Any action taken shall be accompanied by the findings of the PDC upon which the action was based. Approval of a Conditional Use application shall be granted by the PDC only if all the following are positive:

- 1. The proposed uses and structures would not violate the land uses, densities, or other directives of the adopted Comprehensive Plan or the LDC.** *An accessory dwelling unit of no more than 1,500 square feet of living area may be permitted in the RUR District with an approved Conditional Use for parcels of 5 acres or more. The parcel appears to be large enough to meet all LDC requirements for both the primary and accessory dwelling units. LDC requirements for square-*

footage, setbacks, impervious surface ratio, and density must be met at the time of permitting unless otherwise outlined in the conditions.

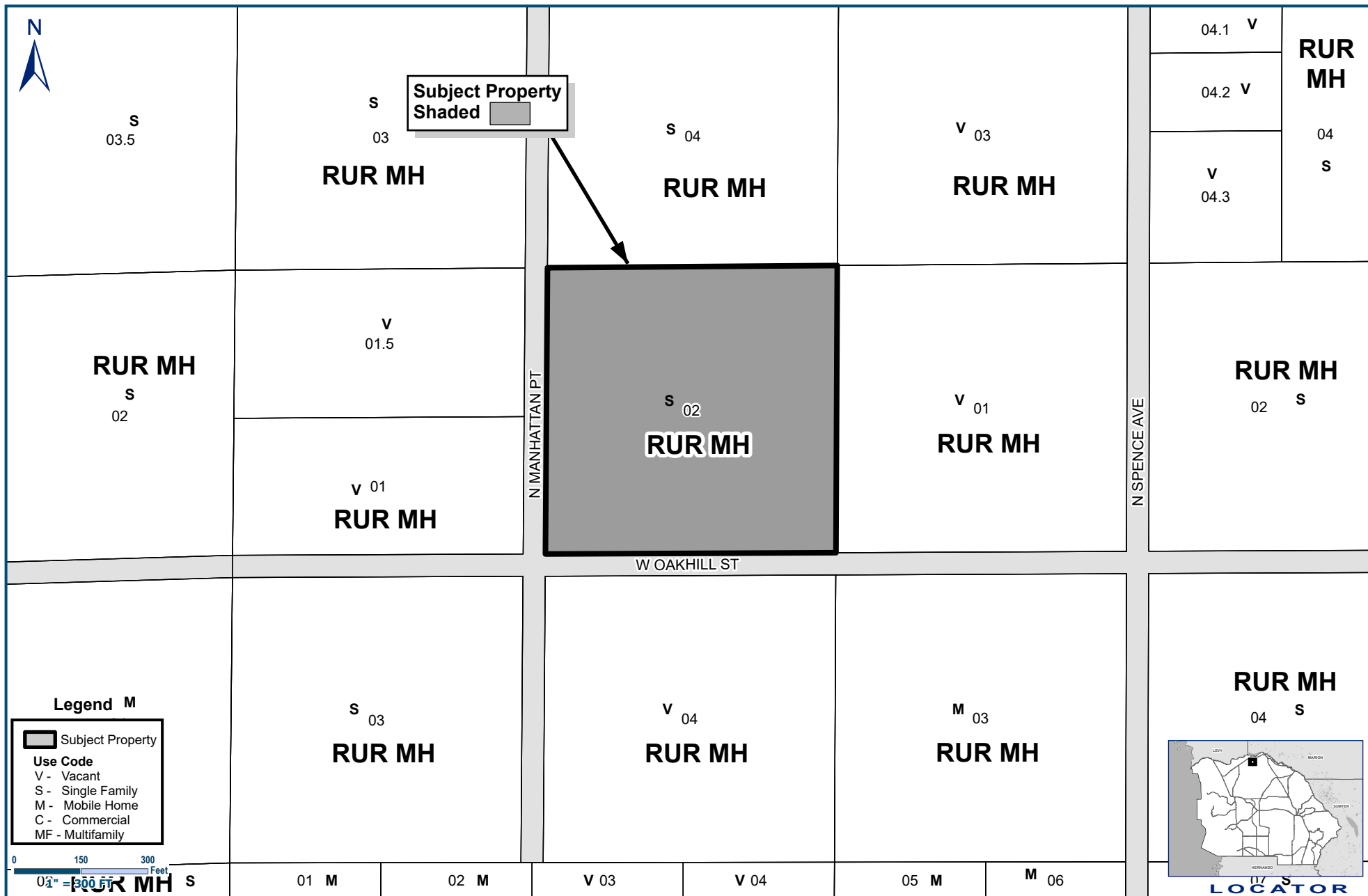
- 2. The proposed uses and structures would not be incompatible with the uses, structures, and activities on adjacent and nearby lands.** *The subject property is surrounded by parcels zoned Rural Residential with mobile homes allowed which contain single-family dwellings, mobile homes, and vacant residential parcels. The proposed accessory dwelling unit is 1,377 square feet of living area. The average living area of dwellings in the surrounding area is approximately 1,688 square feet. Based on the predominance of residential uses in the surrounding area and the size of the lot, it appears that the proposed accessory dwelling unit would be compatible with the surrounding area.*
- 3. The proposed uses and structures would not violate health, safety, welfare, and/or convenience of those residing, working, or owning land in the vicinity of the proposed use or structure, specifically with respect to:**
 - a. The use or structure would not exceed the applicable density or bulk regulations except as specifically authorized, nor shall the use or structure result in overcrowding of land or buildings.** *The proposed accessory dwelling unit appears to meet all LDC requirements for bulk and density.*
 - b. The use or structure would not impair pedestrian or vehicular movement in adjoining streets so as to violate adopted level of service standards.** *The proposed accessory dwelling unit would not impair or violate any of these standards.*
 - c. The use or structure would not create a fire hazard.** *The application as proposed will not create a fire hazard if Fire Code requirements are met at the time of permitting.*
 - d. The use or structure will not result in noise, odor, glare, vibration or other similar characteristic, which is detectable at the property line, and which exceeds the level which result from permitted uses.** *The use is not anticipated to result in noise, odor, glare, vibration, or other similar characteristics detectable at the property line as long as the development standards of the LDC are adhered to. Noise standards at the property line must be met as outlined within the Citrus County Code of Ordinances.*
 - e. The use or structure would not prevent an adjoining landowner from the legal use of his property pursuant to the LDC.** *The proposed structure would not prevent any adjoining landowner legal access of his/her property pursuant to the LDC.*

- f. The use or structure would not violate a requirement or limitation of any applicable state or federal law or regulation.** *The accessory dwelling unit of up to 1,500 square feet of living area would not violate applicable state law or federal regulations.*
- g. The use or structure would not result in the inadequacy or inability of any public facility or service to meet adopted standards.** *The subject property is outside the Planned Service Area. No connection to central utilities are available. The site proposes to be serviced by well and septic systems, which would not impact public facilities.*
- 4. Termination and/or expiration of Conditional Uses – The PDC may specify a term for the duration of a Conditional Use. A Conditional Use will terminate if no development activity under the Conditional Use commences within three years of the date of approval, or if the approved use ceases for a period of three years. The property owner may seek an extension by applying to the PDC.** *The applicant has not requested an extension of the three-year term.*

PROPOSED CONDITIONS (if this application is approved):

- 1.** This Conditional Use shall allow for an accessory dwelling unit not to exceed 1,500 square feet of living area for noncommercial occupancy, as outlined on the site plan date stamped April 23, 2026.
- 2.** At the time of permitting, the applicant must demonstrate compliance with all applicable development standards.
- 3.** Where standards are not specified herein, the Citrus County Land Development Code standards (or current code standards) will apply.

FP/cfc



Application #: CU-2026-00006

Applicant: Crouch Homes LLC

Proposal: ADU over 850sq ft

Location: 10691 N. Manhattan Pt., Dunnellon

LDC Atlas: RUR/MH

S-T-R - 08-17-18

Planner Initials: _____ Date: _____

Geographic Information Systems

Prepared By : Susan O'Connell

Date: May 29, 2026

Source: Enterprise Geodatabase

Map Number: CU-2026-00006

Cynthia P. Skelhorn
Director

This information is to be used for general purposes only. The Citrus County Geographic Information Systems Division makes every effort to provide current data that is accurate and complete as of the date it is printed. However, all information provided must be independently verified by the user. Citrus County shall not be liable for any claims, demands, or losses of any kind in connection with the use of this information, including but not limited to, damages or losses caused by reliance upon the accuracy or timeliness of this information and the viewing, copying, or distributing of these materials.

